



1234, Murfreesboro, TN



Address:	2174 Main Street Murfreesboro, TN
Store Number:	1234
Date Visited:	1/1/2026

Location Information

Location Number	1234
Street Address	2174 Main Street
City	Murfreesboro
State	TN
Postal Code	37128
Country	US - United States
Owner	John Smith
Owner Phone Number	615-555-5555
Owner Email	john.smith@default.com

413 Solution Property Risk Survey

Survey Completed Date	January 1, 2026
Surveyor	John Doe



Construction

Total Sq. Ft. | 4050

Measure Map Photo



Floors Above Ground | 1

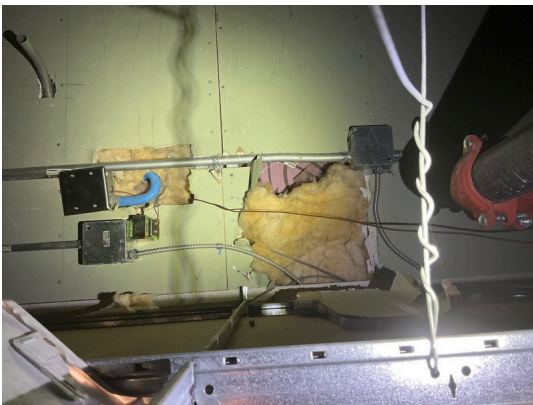
Floors Below Ground | 0

Wall Construction

Wall Construction | Masonry (Unreinforced)

ISO Wall Construction | Masonry Non-Combustible (Class 4)

Wall Construction Photos

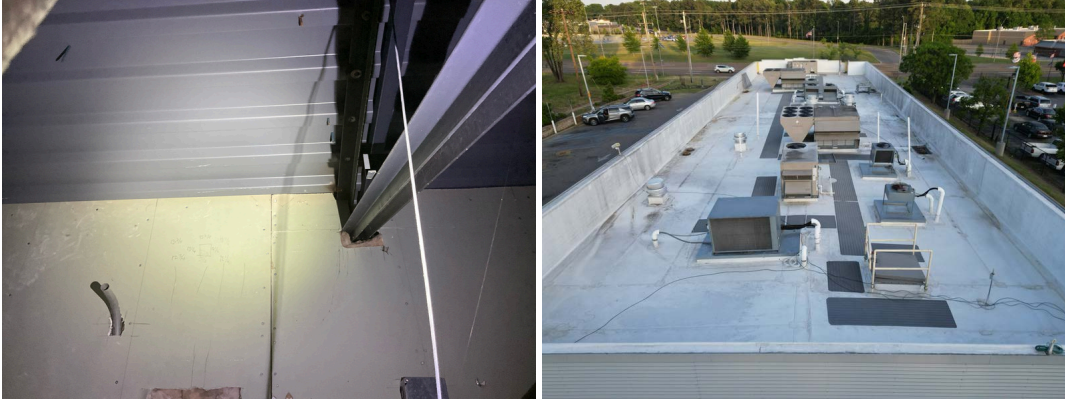


Roof Construction

Roof Construction | Single Ply Membrane

Roof Deck Type | Metal Deck with Insulation Board

Roof Construction Photos



Floor Construction

Floor Construction | Concrete Slab

Floor Construction Photos



Occupancy

Occupancy | Restaurant



Protection

Automatic Sprinklers

Automatic Sprinklers Provided? | Yes

Sprinkler Riser Photos



Sprinkler System Design Photos



Fire Protection Testing Documents



Fire Alarms

Fire Alarm Provided? | Yes

Alarm Type | Fire Department



Fire Alarms Photos



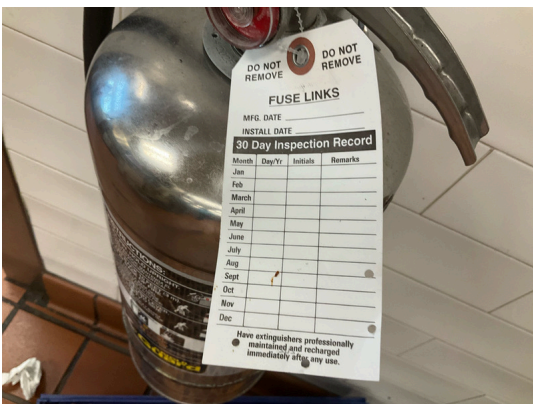
Fire Extinguishers

Fire Extinguishers Provided? | Yes

Fire Extinguisher Annual Service Tag Photos



Fire Extinguisher Monthly Check Photos



Hood Suppression System

Is there a hood suppression system? | Yes

Is it clean? | Yes



Hood Suppression System photos



Hood Annual Inspection and Cleaning Tags



NatCat Exposures

FEMA Risk Index Overview

Expected Annual Loss Score (National Percentile)	84.62%
Expected Annual Loss Rating	Relatively High
Building Expected Annual Loss Rate	\$1 per \$682 of building value

Earthquake



Horizontal Spectral Response Acceleration (Numerical) - USGS Pull ((0.2-second period with a 2 percent probability of exceedance in 50 years))	100
USGS Intensity - Scale of 1-18 (18 is high - Horizontal Spectral Acceleration)	14
FEMA Risk Index - Earthquake Annualized Frequency	High 0.007 events per year (census tract level)

Flood

DFIRM ID	47157C
Flood Zone	X
Flood Zone Subtype	AREA OF MINIMAL FLOOD HAZARD
Flood Zone Study Type	NP

Nearest Flood Zone

Distance From Location (approximate)	No flood zones found within 1,000 feet of location
Flood Zone	N/A
Flood Zone Study Type	N/A
FEMA Risk Index - Coastal Flood Annualized Frequency	Very Low Coastal flood data is not collected for this census tract. This normally indicates that the location is not at risk.
FEMA Risk Index - Riverine Flood Annualized Frequency	No data available Riverine flood data is not collected for this census tract. This normally indicates that the location is not at risk.

Hail

FM Hail Zone	Very Severe
FM Hail Zone Color	Red
Expected Hail Size	≥ 2 in. (51mm)
FEMA Risk Index - Hail Annualized Frequency	Moderate 3.045 events per year (census tract level)

Ice Storm

FEMA Risk Index - Lightning Annualized Frequency	Moderate 1.013 events per year (census tract level)
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Lightning

FEMA Risk Index - Lightning Annualized Frequency	Moderate 59.054 events per year (census tract level)
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Tornado

FEMA Risk Index - Tornado Annualized Frequency | Very Low | 0.001 events per year (census tract level)

Tsunami

FEMA Risk Index - Tsunami Annualized Frequency | Very Low | Tsunami data is not collected for this census tract. This normally indicates that the location is not at risk.

Volcanic Activity

FEMA Risk Index - Volcanic Activity Annualized Frequency | Very Low | Volcanic activity data is not collected for this census tract. This normally indicates that the location is not at risk.

Wildfire

FEMA Risk Index - Wildfire Annualized Frequency | Very Low | 0.0000 events per year (census tract level)

California? | No

Wind

Distance to Coast | 328.21 miles

Distance to Coast Tier | Tier 4 (150+ miles)

Hurricane Prone Region? (ASCE 7-16) | No

FEMA Risk Index - Hurricane Annualized Frequency | Very Low | 0.023 events per year (census tract level)

Winter Weather

FEMA Risk Index - Winter Weather Annualized Frequency | Moderate | 5.263 events per year (census tract level)



Security

Roof Ladder Lock(s) Provided? | Yes

Roof Ladder Lock Photo



Exterior Mulch Provided? | Yes

Exterior Mulch Area(s) photo



Do you have security cameras? | Yes

Does your facility have adequate exterior lighting? | Yes

AIR Primary Modifiers

Contents Damage Modifier (Factors in Surge/Flood modeling only)	Moderate = 2: A typical percentage or the contents are water-resistant or protected
Number of Risks	1
Construction Code Type	AIR ▶ 119 - Joisted masonry
Other Construction Codes	RMS ▶ RMS 2C-Structural Masonry
Occupancy Code & Type	AIR ▶ 331 - Restaurants
Year Built	1972
Building Condition	2 = Good

Building Condition Photos



AIR Earthquake Secondary Modifiers

Building Shape	2 = Rectangle
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Building Shape Photos



Torsion	1 = Symmetric
Soft Story	No = 1
Shape Irregularity	1 = Regular
Special Earthquake-Resistive Systems	0 = Unknown/default

Retrofit Measures | 0 = Unknown/default

Redundancy | Unknown/Default = 0

Tanks | No = 1

Short Column | No = 1

Equipment | Unbraced = 3

Equipment Photos



Chimney | 1 = No

Water Heater | Unbraced = 2

Water Heater Photos



Pounding | 5 = >2.0 m

Tall One-Story | <= 20 ft = 1

Brick Veneer | 90% = 1

Brick Veneer Photos

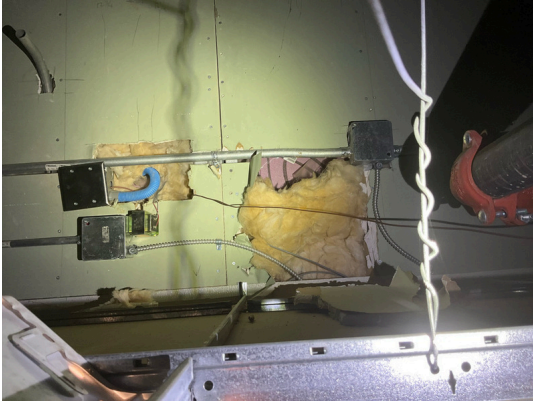


Building Exterior Opening | Less than 50% of wall open = 1

Ornamentation | None = 1

Internal Partition Walls | Gypsum boards = 2

Internal Partition Wall Photos



AIR Wind and Earthquake Modifiers

Foundation Connection | Anchor Bolts = 3

Foundation Type | Mat / slab = 8

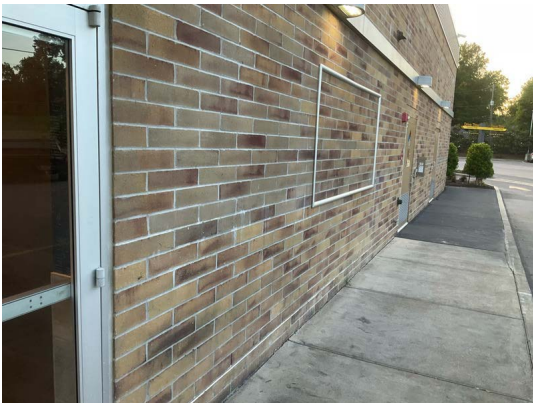
Wall Type | Brick/unreinforced masonry = 1

Wall Type Photos



Wall Siding | Veneer brick/masonry = 1

Wall Siding Photos



Roof Deck | Metal deck with insulation board = 4

Roof Deck Photos



AIR Hurricane Secondary Modifiers

Roof Geometry | Flat = 1

Roof Geometry Photos



Roof Pitch | Low <math><10^\circ</math> = 1

Roof Covering | Single ply membrane = 7

Roof Deck Attachment | Structurally connected = 4

Roof Deck Attachment Photos



Roof Anchor | Structurally Connected = 6

Roof Attached Structures | A/C Units = 2



Roof Attached Structures Photos



Glass Type | Tempered = 2

Glass Type Photos



Glass Percent | Between 5% and 20% = 2

Glass Percent Photos



Window Protection | No protection = 1

External Doors | Single width doors = 1

External Door Photos



Wall Attached Structures	No attached wall structures = 8
Appurtenant Structures	No appurtenant structures = 6
Tree Exposure	No = 1
Small Debris	Yes = 2
Large Missile	No = 1
Terrain Roughness	Urban and suburban areas, wooded areas = 2

Terrain Roughness Photos



Slip/Trip/Fall Observations

Indoor+Entrance+Restrooms

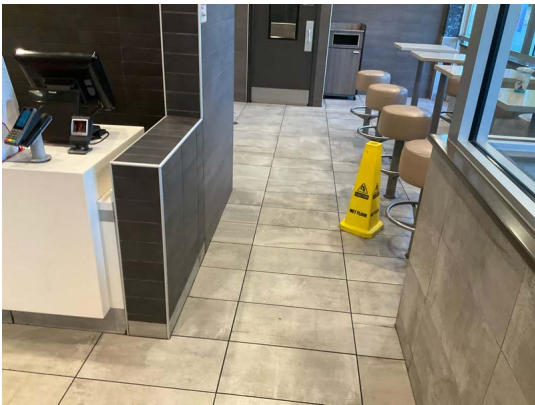
Entrance mats present and in good condition?	No
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Entrance Mats Photo



Floor surface type at entrance / vestibule?	Tile
Visible spills, grease, or contaminants on floors?	No
Walkways / aisles clear of clutter or trip hazards?	Yes

Main walkway photo



"Wet Floor" signs present and in use when needed?	Yes
Lighting adequate (no dark spots in walkways, entrances, or restrooms)?	Yes
Anti-slip / high traction mats or treatments in high-spill areas (kitchen, drink stations)?	Yes

Anti-slip / high traction mats photo



Floor drains clear and functioning (no pooling water)?

Yes

Stairs / Ramps (if present) have uniform treads and handrails?

Yes

Stairs / Ramps photo



Max Cross Slope (%)

1.6

Max Running Slope (%)

6.5

Restroom floors dry and clear of trip hazards?

Yes

Any other visible indoor trip hazards observed?

No

Parking Lot + Outdoor Surfaces

Parking lot surface free of potholes, cracks, or depressions greater than 1/4 inch in pedestrian paths?

Yes



Overview of main pedestrian walkways / parking aisles Photo



Uneven pavement or raised areas present in walkways or crosswalks? | No

Parking bumpers / wheel stops secured, in place, and highly visible? | N/A

Drive-Thru Bollards Present? | Yes

Drive-Thru Bollards



Curbs / edges or sidewalks or parking areas clearly marked and visible? | Yes

Curbs/edges/sidewalks photo



Speed bumps or ramps present and in good condition? | N/A

Loose gravel, debris, trash, or shopping carts obstructing pedestrian paths? | No

Vehicle fluids (oil, antifreeze, brake fluid) pooled or stained on surface? No

Drainage adequate (no standing water or pooling in low areas)? Yes

Lighting in parking lot adequate? Yes

Parking lot lighting



Sidewalks / pedestrian paths level and free of raised cracks or tripping edges? Yes

Main sidewalk path photo



Landscaping / vegetation encroaching on walkways or creating trip hazards? No

Any other visible outdoor trip/slip hazards? No

Workers' Compensation Hazard Observations

Heavy items stored at waist / shoulder height (no overhead reaching)? Yes

Step stools or ladders on site and properly stored when not in use? Yes



Storage area photo



Cords, hoses, or wires cross walkways? | No

Anti-fatigue mats in standing areas? | No

Storage racks / shelves stable and not overloaded? | Yes

Aisles in storage / back-of-house clear? | Yes

Knives / sharp tools stored in sheaths or proper holders when not in use? | Yes

Visible PPE storage area (gloves, aprons, slip-resistant shoes) accessible? | Yes

Fryer / grill area clear of grease buildup on floors? | Yes

Any protruding objects or sharp edges at employee height? | No

Any other observable WC hazards? | No

Back-of-House / Kitchen overview
Photo



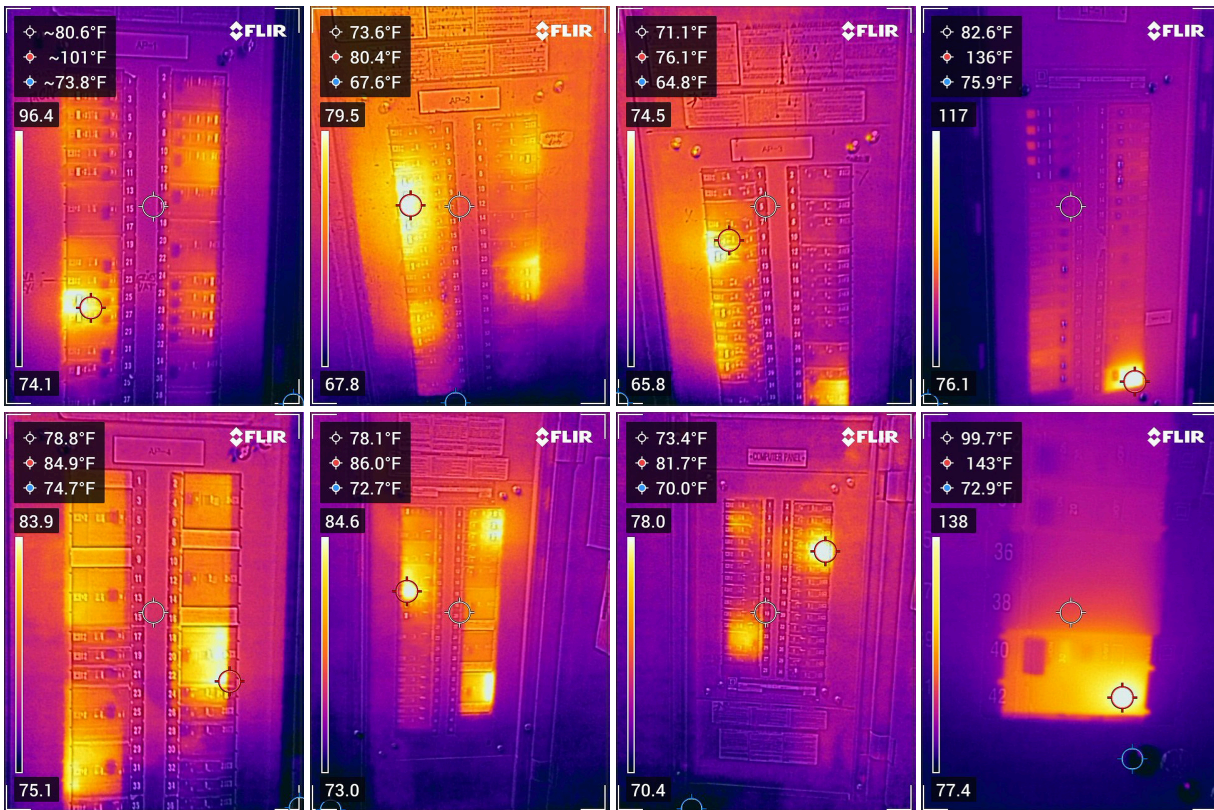
Electrical - Thermal Observations

36" clearance in front of panel maintained?	Yes
Emissivity confirmed at 0.95?	Yes
Reflected / Atmospheric Temperature (Numeric in °F)	70

Electrical Room / Panel Overview
Photo



Panel Thermal Photo(s)



Panel Visual Photo(s)



Highest temperature difference noted on any panel (change of Temp in Fahrenheit vs. ambient or reference phase)

73

NETA Priority Classification

Priority 1 - Major Discrepancy (>72°F)

of Critical Anomalies

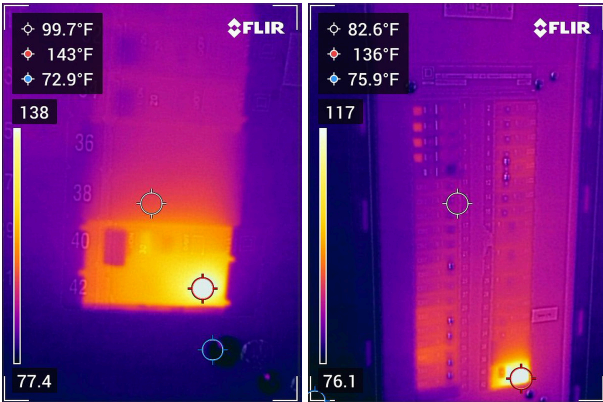
1

Anomalie 1

Name / Location

LP1

Panel Thermal Photo(s)



Panel Visual Photo(s)



Equipment

Number of Fryers

2

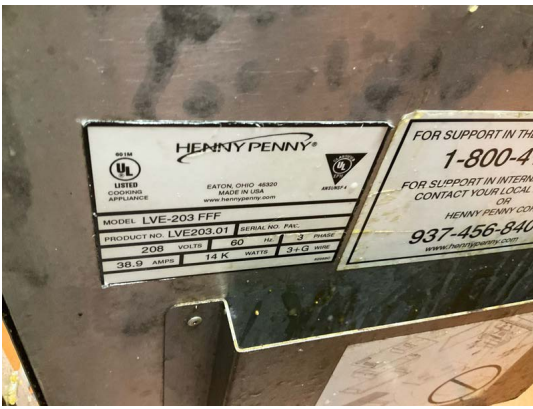
Fryer 1

Fryer #1 Serial No:

XXXXXXXXXX



Fryer #1 Photo



Fryer 2

Fryer #2 Serial No: |XXXXXXXXXX

Fryer #2 Photo



Number of Grills | 2

Grill #1

Grill #1 Serial No: |XXXXXXXXXXXXXXXXXX

Grill #1 Photo



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